



MORRISON AVE. INFILL

ISSUING FOR DP

FOURPLEX INFILL HOUSING
546 MORRISON AVE.
2024 09 16

CONSULTANTS:

ARCHITECTURAL LEAD:
BLUEGREEN ARCHITECTURE INC.
CONTACT: KIMBERLY FULLER
100-1353 ELLIS STREET
KELOWNA, BC V1Y 1Z9 CANADA
PHONE: (236) 420.3550 X203
EMAIL: KFULLER@BLUEGREENARCH.COM



ARCHITECTURAL CONTACT:
BLUEGREEN ARCHITECTURE INC.
CONTACT: KIERAN MORTIMER
100-1353 ELLIS STREET
KELOWNA, BC V1Y 1Z9 CANADA
PHONE: (236) 420.3550 X120
EMAIL: KMORTIMER@BLUEGREENARCH.COM

LANDSCAPE:
ECORA - GH COLLABORATIVE
CONTACT: CHRIS FLAWN
KELOWNA, BC.
PHONE: (778) 215.5035
EMAIL: CHRIS@GHCOLLABORATIVE.COM

SURVEYOR:
ECORA LAND SURVEYING LTD.
284 MAIN STREET, PENTICTON, BC, V2A 5B2
PHONE: (250) 492.2227
EMAIL: JOANNE.KOEPKE@ECORA.CA

CLIENT:

CLOUGH VENTURES INC.
CONTACT: DOUG CLOUGH
LAKE COUNTRY, BC, V4V 0A4
PHONE: (604) 799.2047
EMAIL: DOUG.CLOUGH@ECORA.CA

ARCHITECTURAL DRAWING LIST

SHEET NUMBER	SHEET NAME
A0.0	COVER SHEET
A1.0	SITE PLAN
A1.1	ZONING AND DATA
A1.2	STREET FRONT
A2.0	FLOOR PLAN - LEVEL 1
A2.1	FLOOR PLAN - LEVEL 2
A2.2	FLOOR PLAN - ROOF
A2.3	UNIT LAYOUT
A2.4	UNIT LAYOUT
A2.5	SECTIONS
A3.0	ELEVATIONS
A3.1	ELEVATIONS
A3.2	MATERIAL BOARD
A3.3	RENDERERS
A3.4	SKIN STUDY
A3.5	PREVIOUS DP COMPARISON
A3.6	PRECEDENTS

DISCLAIMER:

SITE RENDERING IS AN ARTISTIC IMPRESSION ONLY FOR FORM AND CHARACTER, AND NOT AN ACCURATE REPRESENTATION OF CONTEXT, FINAL ARCHITECTURE, LANDSCAPE, OR CIVIL DESIGN.

REFER TO DETAILED DESIGN DRAWINGS FOR APPLICABLE DISCIPLINE.

DEVELOPMENT PERMIT

THIS DRAWING MUST NOT BE SCALED.
VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.

VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.

THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.

ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT.

THIS DOCUMENT HAS BEEN DIGITALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ARCHITECTURAL INSTITUTE OF BC AND THE ENGINEERS AND GEOSCIENTISTS BC. THE AUTHORITY ORIGINAL HAS BEEN TRANSMITTED TO YOU IN DIGITAL FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY THE ARCHITECT, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE, OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE PROVIDED BY THE ARCHITECT.

Client

CLOUGH VENTURES INC.
9532 BENCHLAND DR. LAKE COUNTRY, BC.
604 799 2047
DOUG.CLOUGH@ECORA.CA

Consultants



2024-09-16 ISSUES

NO.	DATE	DESCRIPTION
A	2022.XX.XX	ISSUED FOR XXXX

RECORD OF REVISIONS

Project

MORRISON AVE. FOURPLEX INFILL

LOT 24 DISTRICT LOT 14 OSOYOOS DIVISION YALE DISTRICT PLAN 1141

546 MORRISON AVE.

Sheet Title
COVER SHEET

Job Number 23.1149

Date 2024 09 16

Scale

Revision Number 0

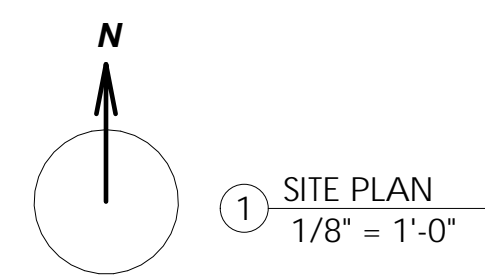
Drawing Number

A0.0

PANDOSY STREET

MORRISON AVENUE

LANEWAY



1 SITE PLAN
1/8" = 1'-0"

DEVELOPMENT PERMIT

THIS DRAWING MUST NOT BE SCALED.
VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.
ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT.
THIS DOCUMENT HAS BEEN DIGITALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ARCHITECTURAL INSTITUTE OF BC AND THE ENGINEERS AND GEOSCIENISTS BC. THE AUTHENTIC ORIGINAL HAS BEEN TRANSMITTED TO YOU IN DIGITAL FORM. ANY PRINTED VERSION CAN BE REPRODUCED AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY THE ARCHITECT, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY-CARRIED ELECTRONIC FILE PROVIDED BY THE ARCHITECT.

Client
CLOUGH VENTURES INC.
9532 BENCHLAND DR. LAKE COUNTRY, BC.
604.799.2047
BOOKING@CLOUGHRECORA.CA

Consultants



2024-09-16 ISSUES

NO.	DATE	DESCRIPTION
A	2022.XX.XX	ISSUED FOR XXXX

RECORD OF REVISIONS

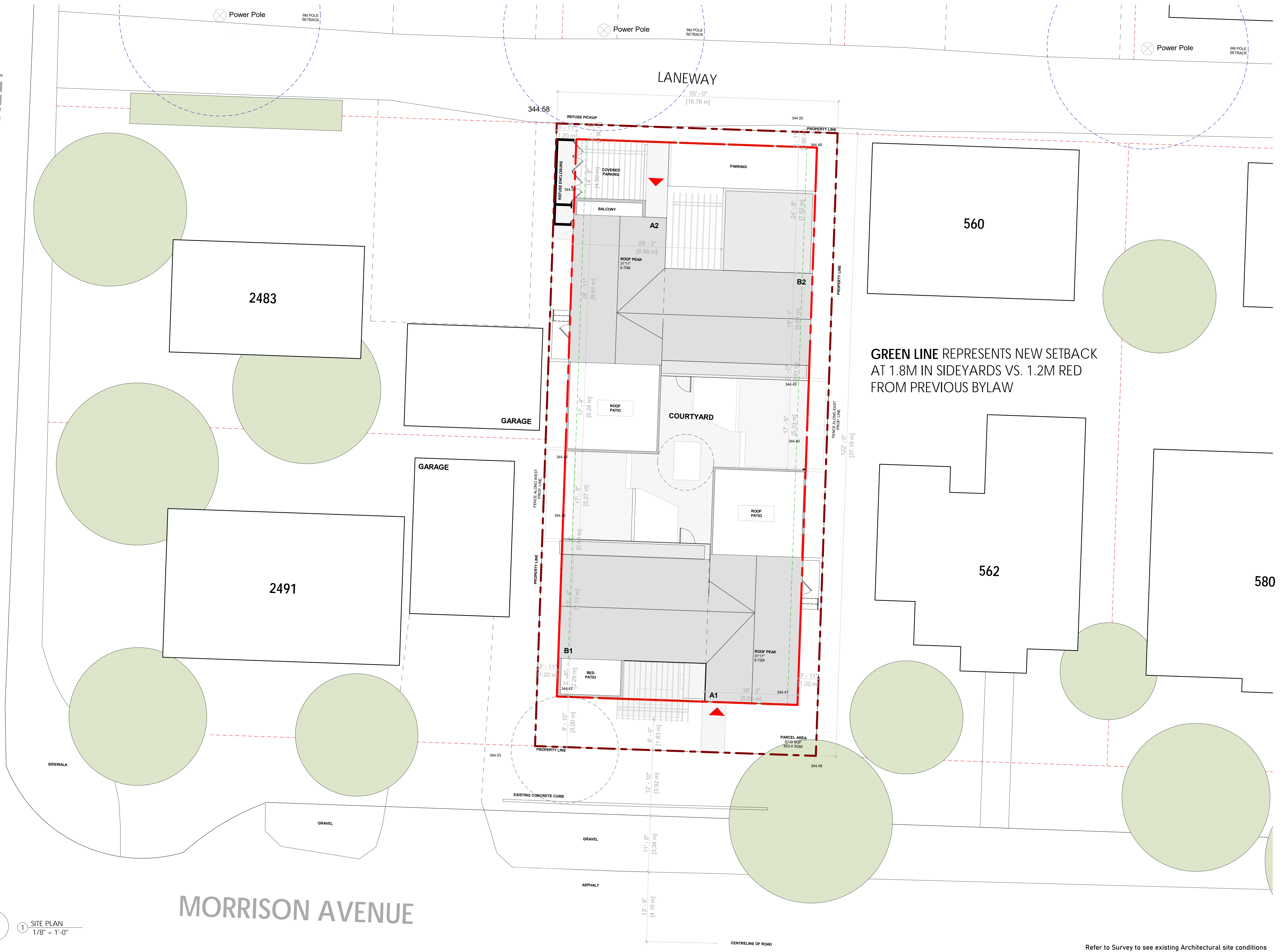
NO.	DATE	DESCRIPTION
-----	------	-------------

Project
MORRISON AVE. FOURPLEX INFILL
LOT 24 DISTRICT LOT 14 OSOYOOS DIVISION YALE DISTRICT PLAN 1141
546 MORRISON AVE.

Sheet Title
SITE PLAN

Job Number 23.1149
Date 2024.09.16
Scale 1/8" = 1'-0"
Revision Number 0
Drawing Number

GREEN LINE REPRESENTS NEW SETBACK AT 1.8M IN SIDYARDS VS. 1.2M RED FROM PREVIOUS BYLAW



Refer to Survey to see existing Architectural site conditions

DEVELOPMENT PERMIT

THIS DRAWING MUST NOT BE SCALED.
 VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
 VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
 THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.
 ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT.
 THIS DOCUMENT HAS BEEN DIGITALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ARCHITECTURAL INSTITUTE OF BC AND THE ENGINEER AND GEOSCIENTISTS BC. THE AUTHORITY ORIGINAL HAS BEEN TRANSMITTED TO YOU IN DIGITAL FORM. ANY PRINTED VERSION CAN BE REPRODUCED AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY THE ARCHITECT, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY-CARRIED ELECTRONIC FILE PROVIDED BY THE ARCHITECT.

Client
 CLOUGH VENTURES INC.
 9532 BENCHLAND DR. LAKE COUNTRY, BC.
 804 799 2047
 800.66.CLOUGH@CORA.CA

Consultants



NO.	DATE	DESCRIPTION
A	2022.XX.XX	ISSUED FOR XXXX

NO.	DATE	DESCRIPTION
RECORD OF REVISIONS		

Project
 MORRISON AVE.
 FOURPLEX INFILL
 LOT 24 DISTRICT LOT 14 OSOYOOS
 DIVISION YALE DISTRICT PLAN 1141
 546 MORRISON AVE.

Sheet Title
 ZONING AND DATA

Job Number 23.1149
 Date 2024 09 16
 Scale
 Revision Number 0
 Drawing Number

546 MORRISON AVE - FOURPLEX INFILL

CURRENT ZONING:	REQUIRED	PROVIDED
PRINCIPLE USE	MF1 C-NHD - INFILL FOURPLEX	MF1 C-NHD - INFILL FOURPLEX
MAX BASE DENSITY	6 UNITS PER LOT	4 UNITS
PARCEL SIZE	351 m ²	623.4 m ²
LOT WIDTH	13M	16.75 M
LOT DEPTH	27M	37.2 M
BUILDING HEIGHT (FROM MID PITCH)	11M	8.3 M
BUILDING HEIGHT (FROM TOP PITCH)	11M	9.7 M
MIN. SEPERATION BETWEEN DETACHED...	2.0M	3.26 M
SETBACKS (N,E,S,W)	3M	3M (NORTH)
	1.8M	1.2 M (EAST)
	.9M	.9M (SOUTH)
	1.8M	1.2M (WEST)
LOT SIZE (SQF)	3778 ft ²	6710 ft ²
LOT SIZE (SQM)	351m ²	623m ²
BUILDING FOOTPRINT (INC. COVERED AREAS)	N/A	361.6 m ²
PARKADE FLOORPLATE	N/A	67.2m ²
MAIN FLOOR FLOORPLATE	N/A	236m ²
NET FLOOR AREA	499 m ² (0.8 FAR)	460.8m ²
FLOOR AREA RATIO	0.8	0.74
MAXIMUM LOT COVERAGE OF BUILDING (%)	55%	49%
MAXIMUM LOT COVERAGE OF BUILDING (SQM)	342.9m ²	306.6m ²
SITE - HARD COVERAGE (%)	75%	78%
SITE - TOTAL HARD COVERAGE (SQM)	467.5m ²	484.3m ²
SOIL BASED LANDSCAPING IN LANDSCAPE AREA...	75%	69%
SOIL BASED LANDSCAPING IN LANDSCAPE AREA...	145.3m ²	100m ²
SOIL BASED LANDSCAPING OUTSIDE LANDSCAP...	N/A	18.5m ²
EXTERIOR PATIO SPACE (SQM)		176.6m ²
PERMEABLE HARDSCAPING TO SOIL BASED LAN...	25/75	50/50
PERMEABLE HARDSCAPING AREA (SQM)	N/A	131m ²
MAX GFA OF 3RD STOREY RATIO TO 2ND (SQM)	182m ²	11.7m ²
OTHER		
GARBAGE	BINS AT REAR - LARGE SHARED	LARGE SHARED
PARKING	4	4

AREA...	NO.	SF	SM	TOTAL SF	TOTAL...	POS (SF)	POS (SM)	TOTAL POS...	TOTAL POS...
FIRST FLOOR									
UNIT A1	1	519.6	48.27	519.6	48.27	0	0	0	0
UNIT A2	1	519.6	48.27	519.6	48.27	0	0	0	0
UNIT B1	1	581.7	54.04	581.7	54.04	422	39.21	422	39.21
UNIT B2	1	467	43.39	467	43.39	233	21.65	233	21.65
TOTAL	4	2087.9	193.97					653	60.86
2ND FLOOR PLAN									
UNIT A1	1	773.1	71.82	773.1	71.82	0	0	0	0
UNIT A2	1	773.1	71.82	773.1	71.82	47	4.37	47	4.37
UNIT B1	1	548.6	50.97	548.6	50.97	90	8.36	90	8.36
UNIT B2	1	703.25	65.33	703.25	65.33	455	42.27	455	42.27
TOTAL	4	2798.05	259.95					592	55
3RD FLOOR PLAN									
UNIT A1	1	21	1.95	21	1.95	292	27.13	292	27.13
UNIT A2	1	21	1.95	21	1.95	292	27.13	292	27.13
UNIT B1	0	0	0	0	0	0	0	0	0
UNIT B2	0	0	0	0	0	0	0	0	0
TOTAL	2	42	3.9					584	54.26
TOTAL									
UNIT A1	1	1314.2	25%	1314	122.07	//	//	292	27.13
UNIT A2	1	1314.2	25%	1314	122.07	//	//	339	31.49
UNIT B1	1	1130.3	25%	1130	104.98	//	//	512	47.57
UNIT B2	1	1170.25	25%	1170	108.7	//	//	688	63.92
NET RESIDENTIAL	4		100%	4,928	457.83	0	0	1,831	170.11



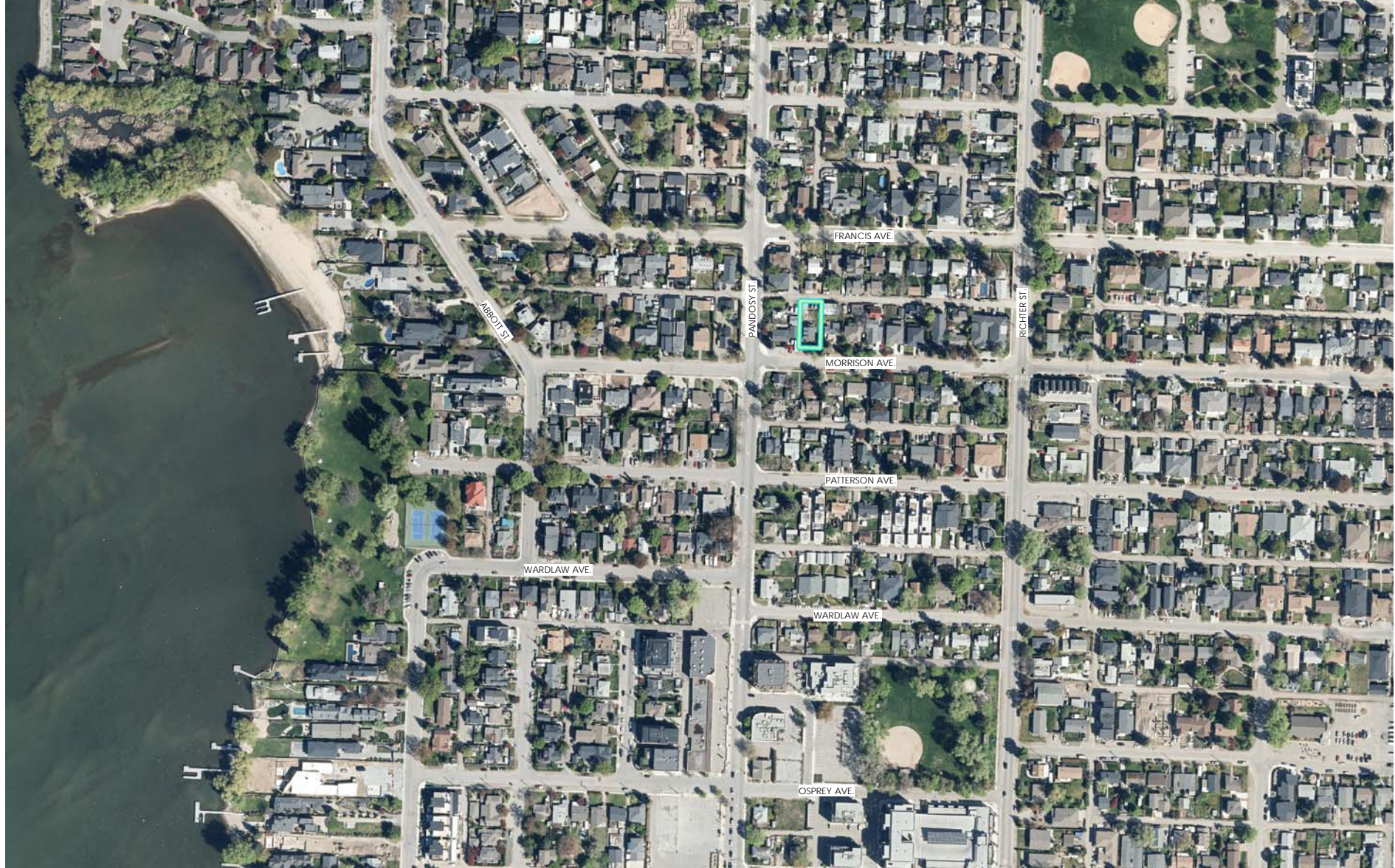
SITE VIEW - FROM MORRISON AVE. TOWARDS PANDOSY ST.



SITE VIEW - FRONT OF 546 MORRISON AVE.



SITE VIEW - FROM PANDOSY ST.



SITE VIEW - AERIAL OF PANDOSY CORE

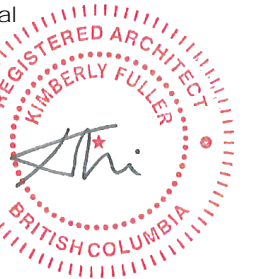
DEVELOPMENT PERMIT

THIS DRAWING MUST NOT BE SCALED.
 VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
 VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
 THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.
 ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT.

THIS DOCUMENT HAS BEEN DIGITALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ARCHITECTURAL INSTITUTE OF BC AND THE ENGINEERS AND GEOSCIENTISTS BC. THE AUTHENTIC ORIGINAL HAS BEEN TRANSMITTED TO YOU IN DIGITAL FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY THE ARCHITECT, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE, OR WHEN PRINTED FROM THE DIGITALLY-CARRIED ELECTRONIC FILE PROVIDED BY THE ARCHITECT.

Client
 CLOUGH VENTURES INC.
 9532 BENCHLAND DR. LAKE COUNTRY, BC.
 604.799.2047
 DOCK@CLOUGHRECORA.CA

Consultants



2024-09-16 ISSUES

NO.	DATE	DESCRIPTION
A	2022 XX XX	ISSUED FOR XXXX

RECORD OF REVISIONS

Project

MORRISON AVE. FOURPLEX INFILL

LOT 24 DISTRICT LOT 14 OSOYOOS DIVISION YALE DISTRICT PLAN 1141

546 MORRISON AVE.

Sheet Title
STREETFRONT

Job Number 23.1149

Date 2024 09 16

Scale

Revision Number 0

Drawing Number

MORRISON AVE.

Streetfront elevation views of the adjacent sites and a panorama of the opposite side of the street directly across from the proposed site.



2483 PANDOSY ST - VIEW FROM MORRISON



546 MORRISON AVE - PROPOSED SITE



562 MORRISON AVE.



VIEW ACROSS THE STREET

DEVELOPMENT PERMIT

THIS DRAWING MUST NOT BE SCALED.
 VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
 VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
 THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.
 ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT.

THIS DOCUMENT HAS BEEN DIGITALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ARCHITECTURAL INSTITUTE OF BC AND THE ENGINEERS AND GEOSCIENISTS BC. THE AUTHORITY ORIGINAL HAS BEEN TRANSMITTED TO YOU IN DIGITAL FORM. ANY PRINTED VERSION CAN BE REPRODUCED AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY THE ARCHITECT, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY-CARRIED ELECTRONIC FILE PROVIDED BY THE ARCHITECT.

Client
 CLOUGH VENTURES INC.
 9532 BENCHLAND DR. LAKE COUNTRY, BC.
 604.799.2047
 3036 GLOUCHESTER CORNER CA

Consultants



NO.	DATE	DESCRIPTION
2024-09-16	ISSUED FOR	XXXX

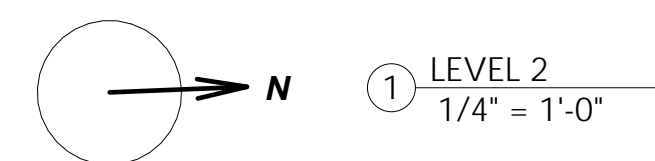
NO.	DATE	DESCRIPTION
RECORD OF REVISIONS		

Project
MORRISON AVE. FOURPLEX INFILL
 LOT 24 DISTRICT LOT 14 OSOYOOS DIVISION YALE DISTRICT PLAN 1141
 546 MORRISON AVE.

Sheet Title
FLOOR PLAN - LEVEL 2

Job Number 23.1149
 Date 2024 09 16
 Scale 1/4" = 1'-0"
 Revision Number 0
 Drawing Number

A2.1



2491 PANDOSY ST.

2483 PANDOSY ST.

562 MORRISON AVE.

MORRISON AVE. FRONT

LANEWAY

COURTYARD



DEVELOPMENT PERMIT

THIS DRAWING MUST NOT BE SCALED.
 VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
 VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
 THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.
 ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT.
 THIS DOCUMENT HAS BEEN DIGITALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ARCHITECTURAL INSTITUTE OF BC AND THE ENGINEER AND GEOSCIENTISTS BC. THE AUTHENTIC ORIGINAL HAS BEEN TRANSMITTED TO YOU IN DIGITAL FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY THE ARCHITECT, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY-CARRIED ELECTRONIC FILE PROVIDED BY THE ARCHITECT.

Client
 CLOUGH VENTURES INC.
 9532 BENCHLAND DR. LAKE COUNTRY, BC.
 604.799.2047
 604.610.0300@CLOUGHV.COM

Consultants



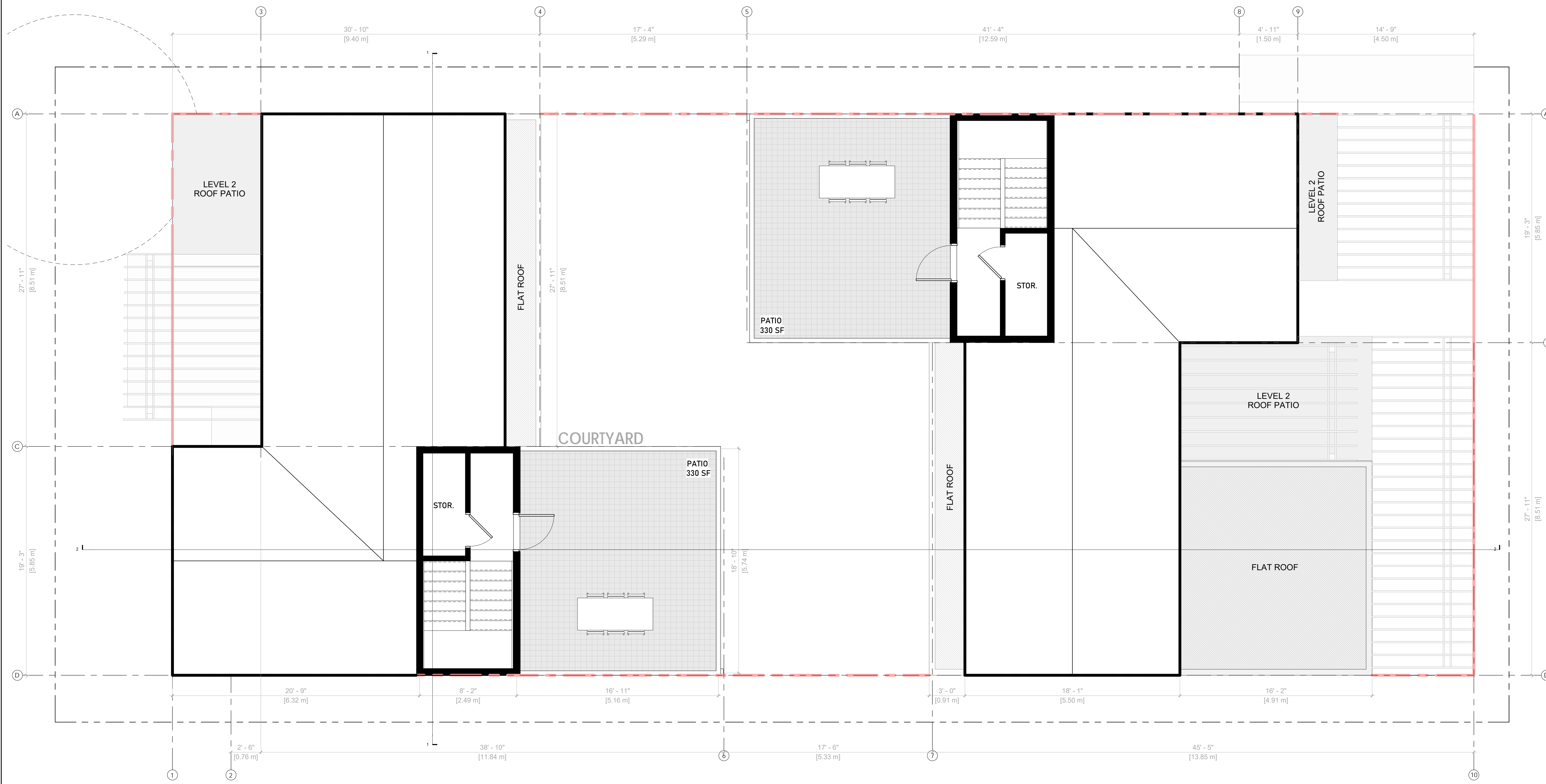
2024-09-16 ISSUES		
NO.	DATE	DESCRIPTION
A	2022.XX.XX	ISSUED FOR XXXX

NO.	DATE	DESCRIPTION
RECORD OF REVISIONS		

Project
 MORRISON AVE. FOURPLEX INFILL
 LOT 24 DISTRICT LOT 14 OSOYOOS DIVISION YALE DISTRICT PLAN 1141
 546 MORRISON AVE.

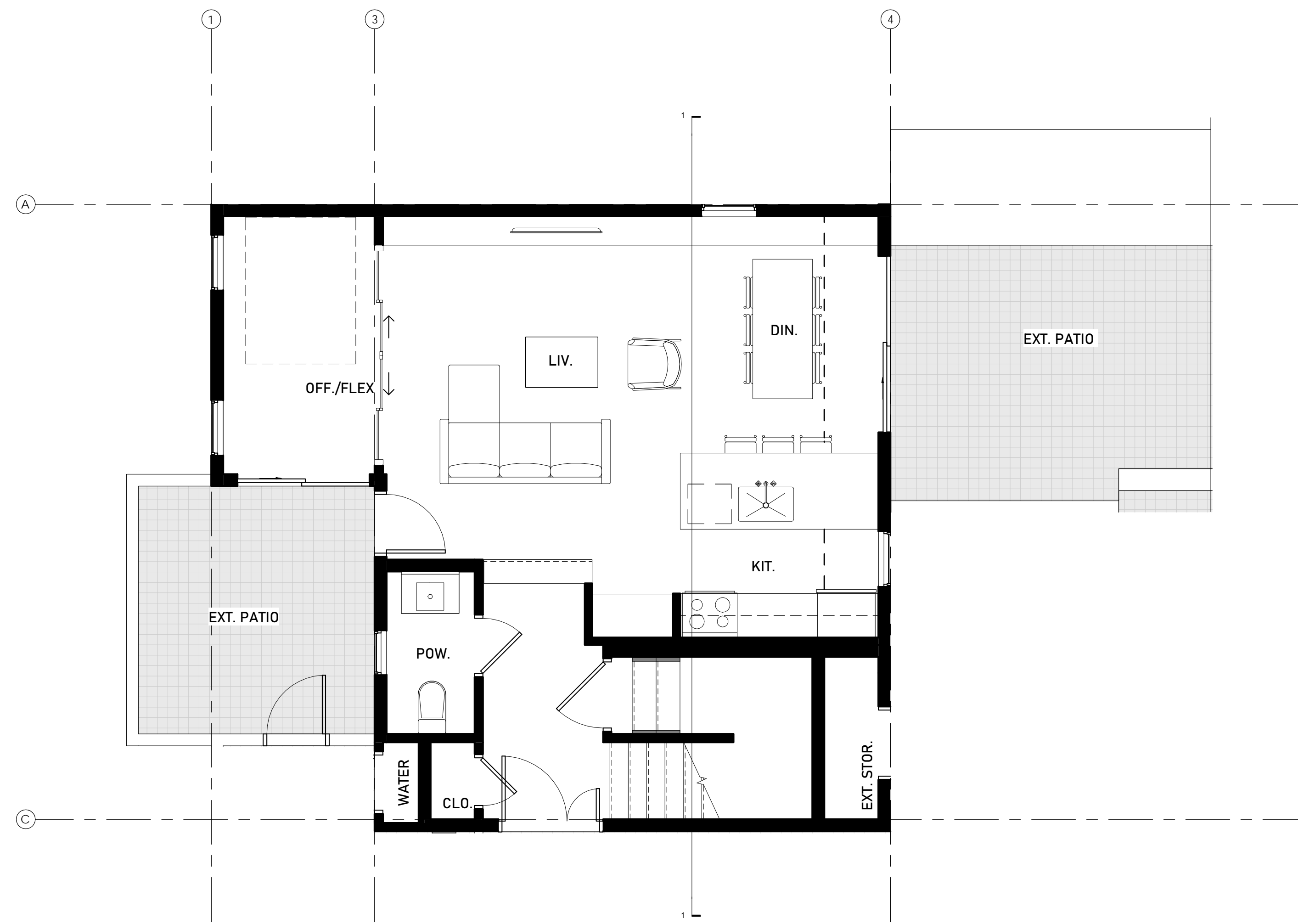
Sheet Title
 FLOOR PLAN - ROOF

Job Number: 23.1149
 Date: 2024 09 16
 Scale: 1/4" = 1'-0"
 Revision Number: 0
 Drawing Number:

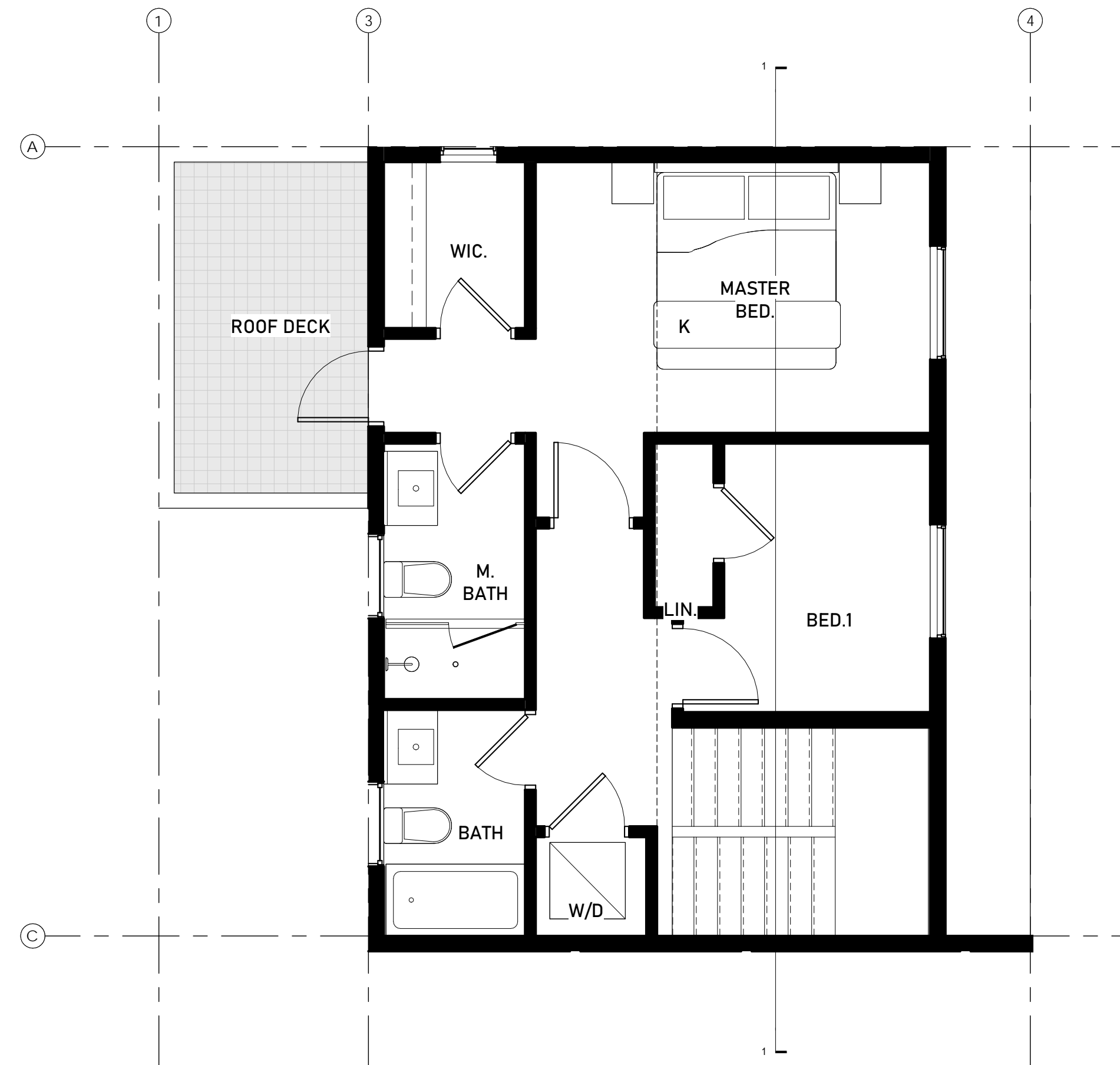


1 ROOF DECK
 1/4" = 1'-0"

B1

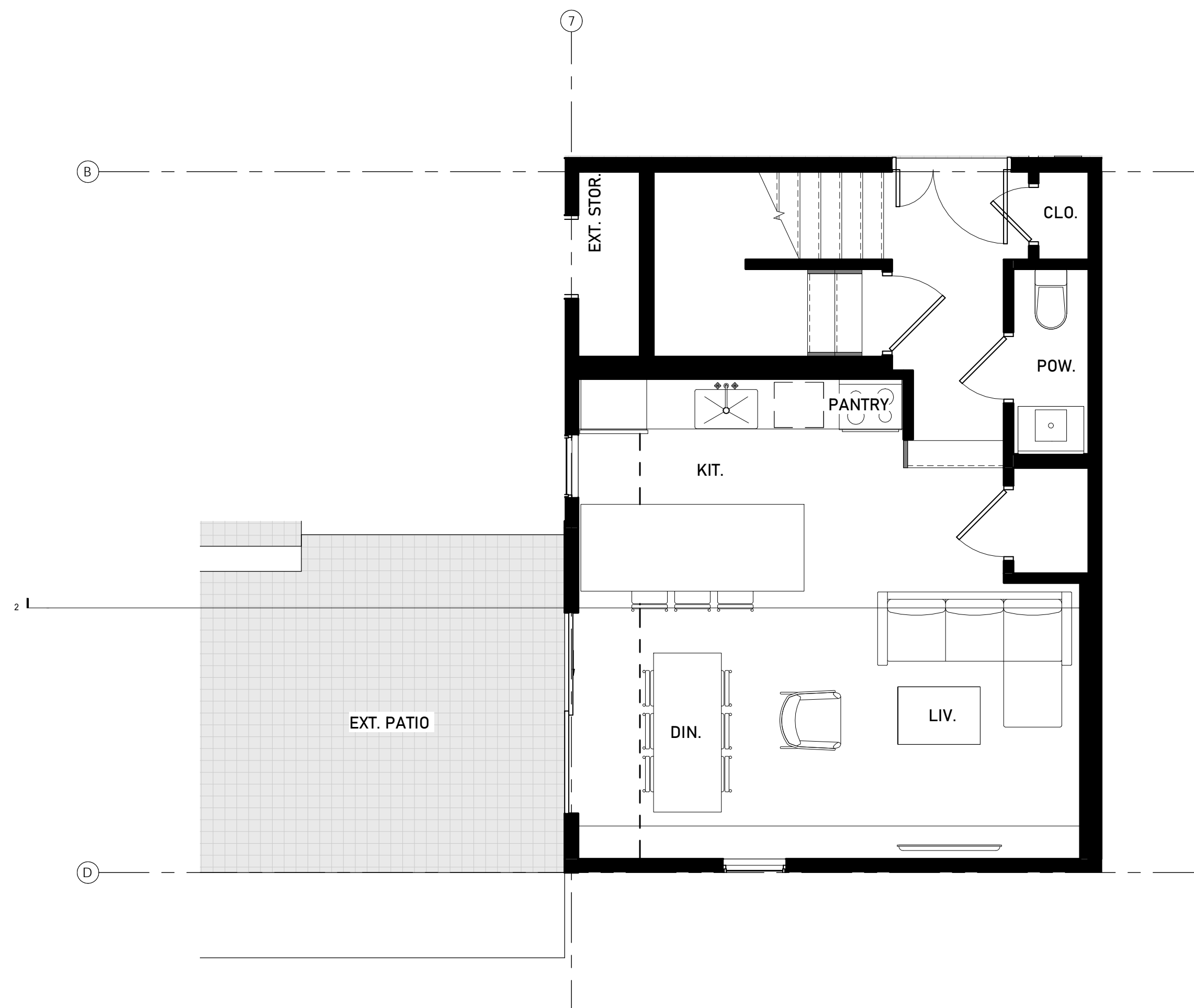


1 UNIT B1 - LVL 1
1/4" = 1'-0"

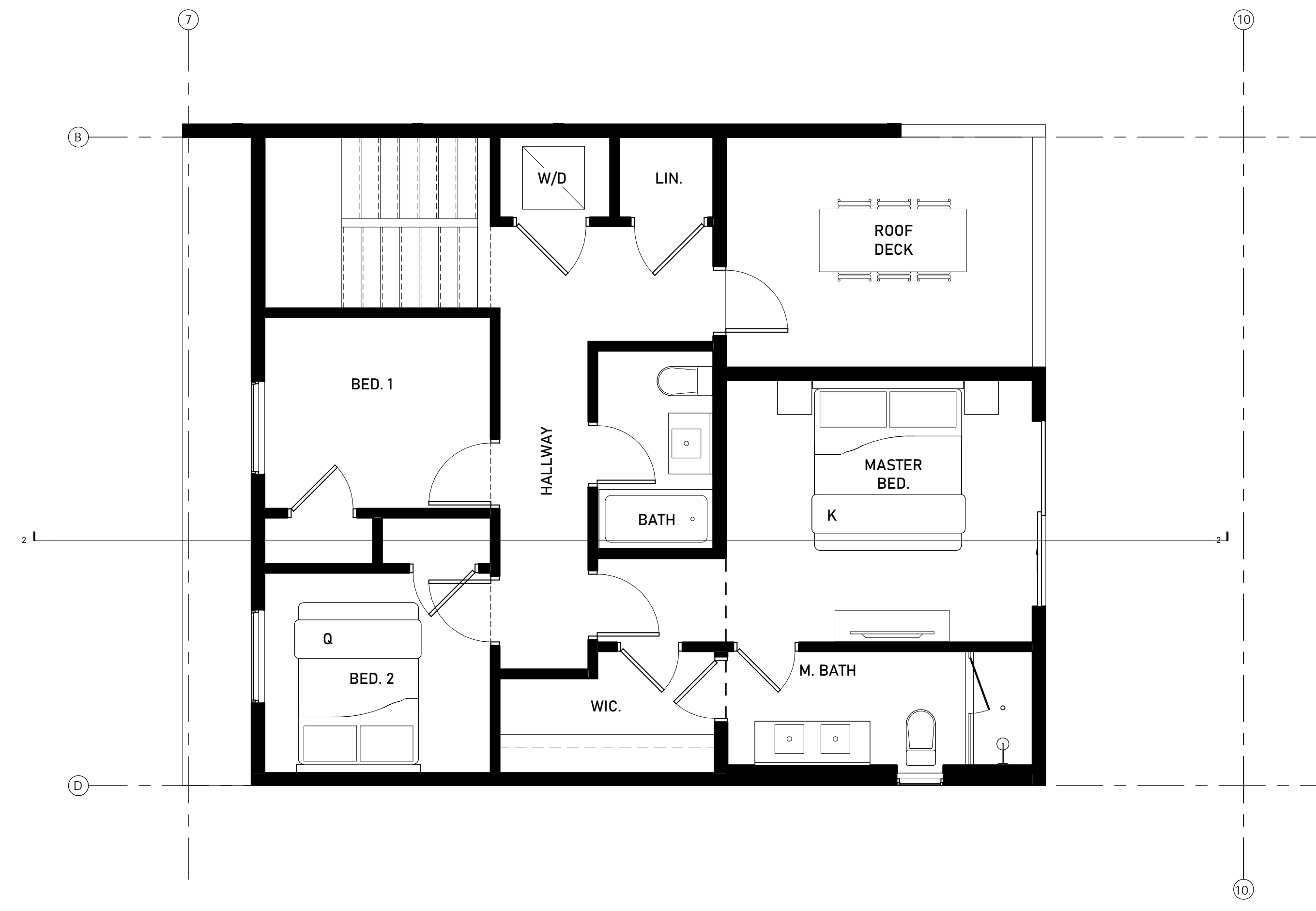


2 UNIT B1 - LVL 2
1/4" = 1'-0"

B2



3 UNIT B2 - LVL 1
1/4" = 1'-0"



4 UNIT B2 - LVL 2
1/4" = 1'-0"

DEVELOPMENT PERMIT

THIS DRAWING MUST NOT BE SCALED.
 VERIFY ALL DIMENSIONS AND DATUMS
 PRIOR TO COMMENCEMENT OF WORK.
 REPORT ALL ERRORS AND OMISSIONS
 TO THE ARCHITECT.

VARIATIONS AND MODIFICATIONS ARE
 NOT ALLOWED WITHOUT WRITTEN
 PERMISSION FROM THE ARCHITECT.

THIS DRAWING IS THE EXCLUSIVE
 PROPERTY OF THE ARCHITECT.

ANY REPRODUCTION MUST BEAR THEIR
 NAME AS ARCHITECT.

THIS DOCUMENT HAS BEEN DIGITALLY
 CERTIFIED WITH DIGITAL CERTIFICATE AND
 ENCRYPTION TECHNOLOGY AUTHORIZED
 BY THE ARCHITECTURAL INSTITUTE OF BC
 AND THE ENGINEERS AND GEOSCIENISTS
 BC. THE AUTHENTIC ORIGINAL HAS
 BEEN TRANSMITTED TO YOU IN DIGITAL
 FORM. ANY PRINTED VERSION CAN BE
 REPRODUCED AS A TRUE COPY OF THE
 ORIGINAL WHEN SUPPLIED BY THE
 ARCHITECT, BEARING IMAGES OF THE
 PROFESSIONAL SEAL AND DIGITAL
 CERTIFICATE OR WHEN PRINTED FROM THE
 DIGITALLY-CERTIFIED ELECTRONIC FILE
 PROVIDED BY THE ARCHITECT.

Client

CLOUGH VENTURES INC.
 9532 BENCHLAND DR. LAKE COUNTRY, BC.
 604.799.2047
 604.799.2047

Consultants



2024-09-16 ISSUES

NO.	DATE	DESCRIPTION
A	2022 XX XX	ISSUED FOR XXXX

RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

Project

MORRISON AVE.
 FOURPLEX INFILL

LOT 24 DISTRICT LOT 14 OSOYOOS
 DIVISION YALE DISTRICT PLAN 1141

546 MORRISON AVE.

Sheet Title

UNIT CALLOUT

Job Number 23.1149

Date 2024 09 16

Scale 1/4" = 1'-0"

Revision Number 0

Drawing Number

A2.3

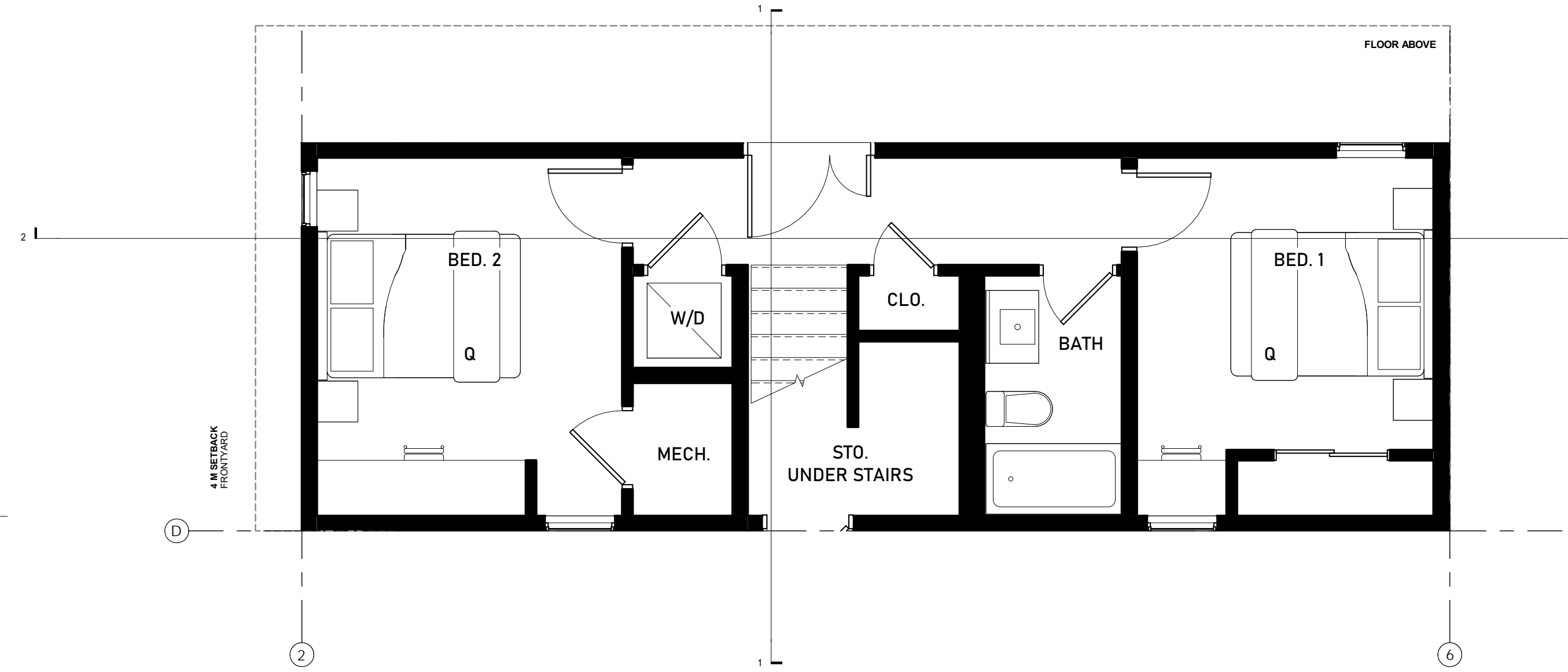
2024-09-16 4:09:24 PM

A1 AND A2

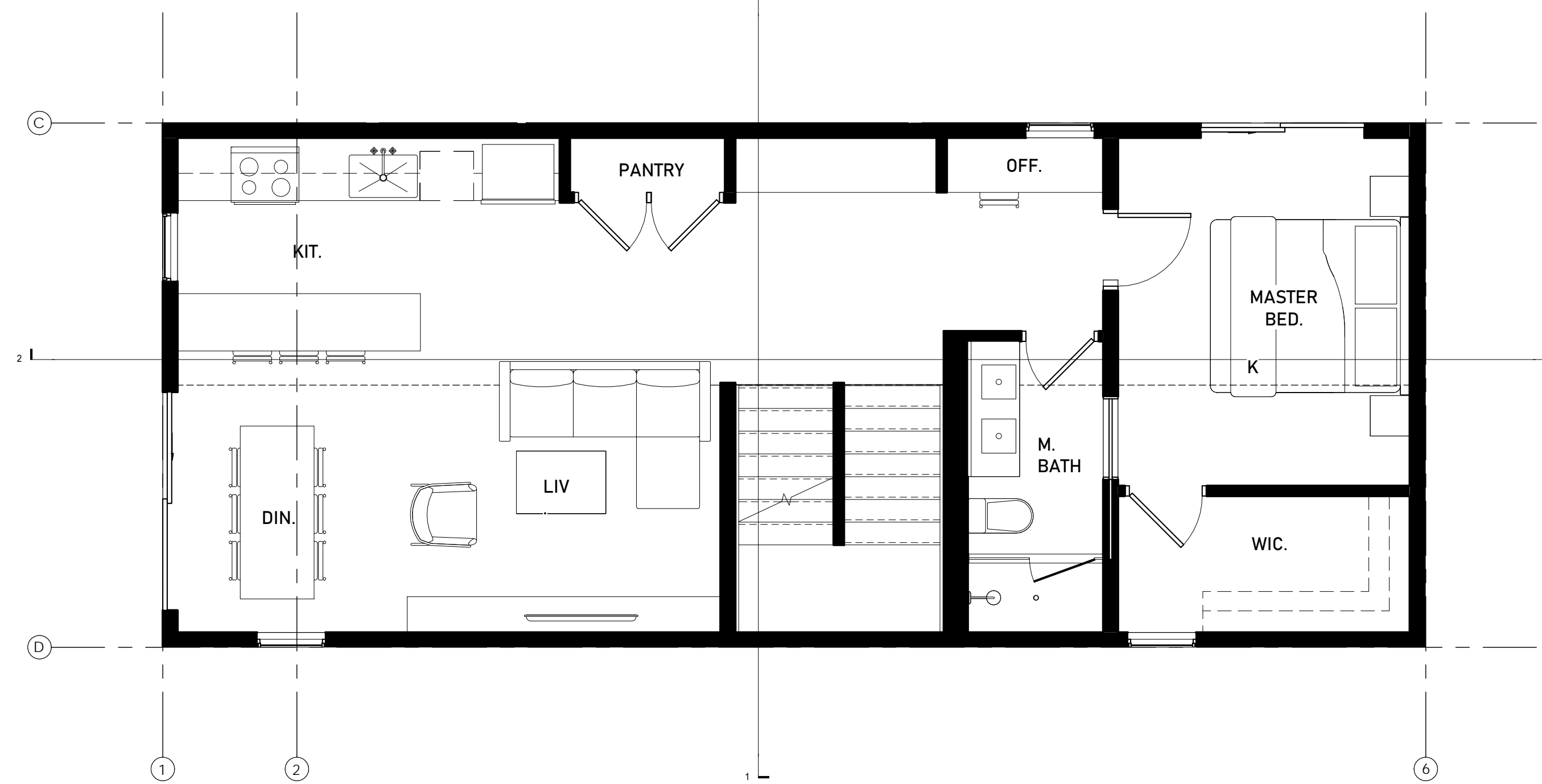
These units share all features except the balcony deck that extends out on LVL 2. of Unit A2.

On Unit A1. (facing Morrison Ave. to the South), this is a Juliet balcony.

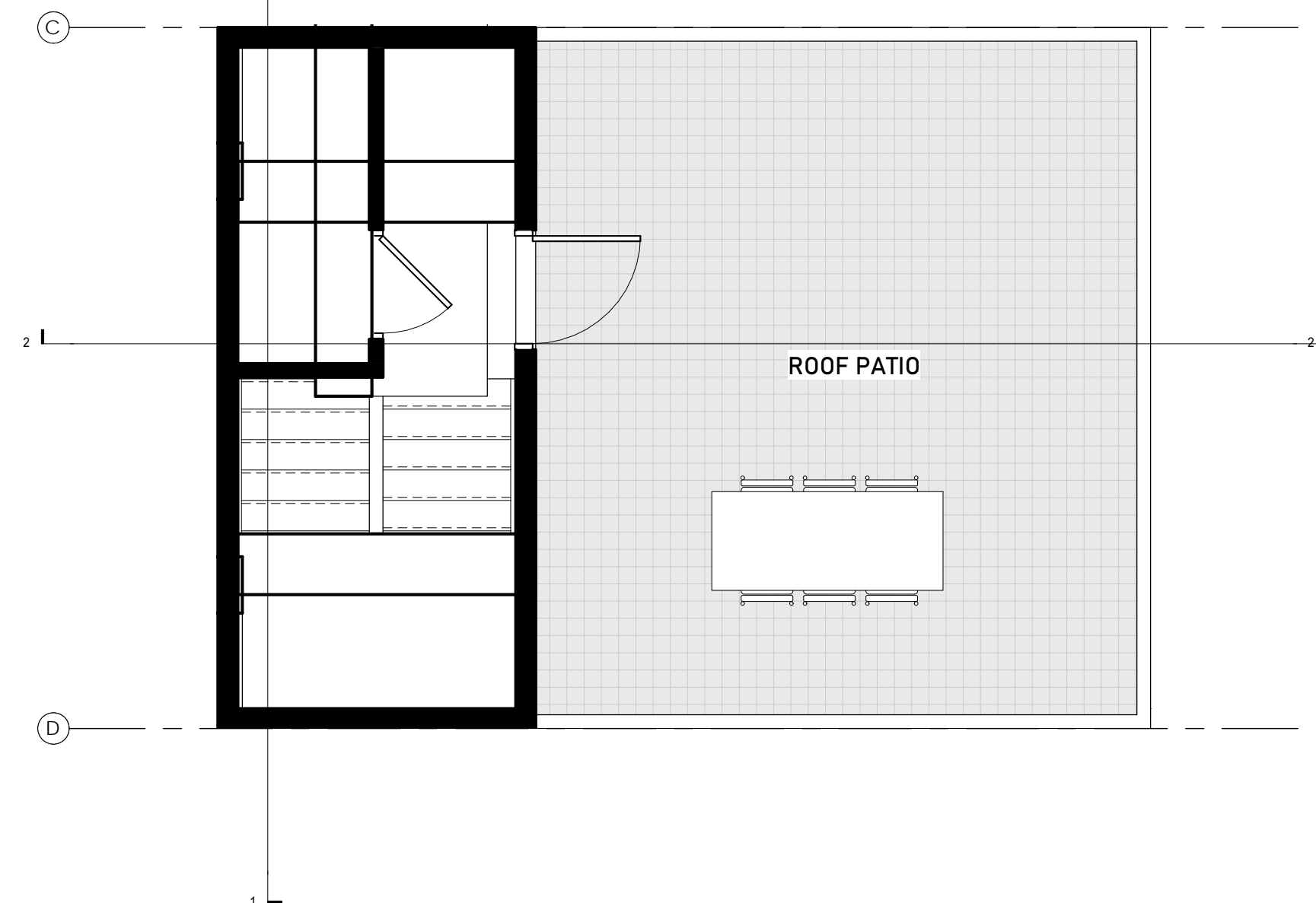
① UNIT A1/A2 - LVL 1
1/4" = 1'-0"



② UNIT A1/A2 - LVL 2
1/4" = 1'-0"



③ UNIT A1/A2 - ROOF
1/4" = 1'-0"



DEVELOPMENT PERMIT

THIS DRAWING MUST NOT BE SCALED.
VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.
ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT.

THIS DOCUMENT HAS BEEN DIGITALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ARCHITECTURAL INSTITUTE OF BC AND THE ENGINEERS AND GEOSCIENTISTS BC. THE AUTHENTIC ORIGINAL HAS BEEN TRANSMITTED TO YOU IN DIGITAL FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY THE ARCHITECT, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE, OR WHEN PRINTED FROM THE DIGITALLY-CARRIED ELECTRONIC FILE PROVIDED BY THE ARCHITECT.

Client
CLOUGH VENTURES INC.
9532 BENCHLAND DR. LAKE COUNTRY, BC.
604.799.2047
BOOKING@CLOUGHRECORA.CA

Consultants



2024-09-16 ISSUES		
NO.	DATE	DESCRIPTION
A	2022.XX.XX	ISSUED FOR XXXX

NO.	DATE	DESCRIPTION
RECORD OF REVISIONS		

Project
MORRISON AVE. FOURPLEX INFILL
LOT 24 DISTRICT LOT 14 OSOYOOS DIVISION YALE DISTRICT PLAN 1141
546 MORRISON AVE.

Sheet Title
UNIT CALLOUT

Job Number 23.1149
Date 2024 09 16
Scale 1/4" = 1'-0"
Revision Number 0
Drawing Number

DEVELOPMENT PERMIT

THIS DRAWING MUST NOT BE SCALED.
 VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
 VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
 THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.
 ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT.

THIS DOCUMENT HAS BEEN DIGITALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ARCHITECTURAL INSTITUTE OF BC AND THE ENGINEERS AND GEOSCIENTISTS BC. THE AUTHENTIC ORIGINAL HAS BEEN TRANSMITTED TO YOU IN DIGITAL FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY THE ARCHITECT, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY-CARRIED ELECTRONIC FILE PROVIDED BY THE ARCHITECT.

Client
 CLOUGH VENTURES INC.
 9532 BENCHLAND DR. LAKE COUNTRY, BC.
 604.799.2047
 DOUG.CLOUGH@CROCA.CA

Consultants



2024-09-16 ISSUES

NO.	DATE	DESCRIPTION
A	2022 XX XX	ISSUED FOR XXXX

NO.	DATE	DESCRIPTION
RECORD OF REVISIONS		

Project

MORRISON AVE. FOURPLEX INFILL
 LOT 24 DISTRICT LOT 14 OSOYOOS DIVISION YALE DISTRICT PLAN 1141

546 MORRISON AVE.

Sheet Title
SECTIONS

Job Number	23.1149
Date	2024 09 16
Scale	1/8" = 1'-0"
Revision Number	0
Drawing Number	

A2.5



① (1) East-West Section
 1/8" = 1'-0"



② (2) North-South Section
 1/8" = 1'-0"

DEVELOPMENT PERMIT

THIS DRAWING MUST NOT BE SCALED.
 VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
 VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
 THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.
 ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT.

THIS DOCUMENT HAS BEEN DIGITALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ARCHITECTURAL INSTITUTE OF BC AND THE ENGINEER AND GEOSCIENTISTS BC. THE AUTHENTIC ORIGINAL HAS BEEN TRANSMITTED TO YOU IN DIGITAL FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY THE ARCHITECT. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY-CARRIED ELECTRONIC FILE PROVIDED BY THE ARCHITECT.

Client
 CLOUGH VENTURES INC.
 9532 BENCHLAND DR. LAKE COUNTRY, BC.
 604.799.2047
 604.616.CLOUGH@CROORA.CA

Consultants



2024-09-16 ISSUES

NO.	DATE	DESCRIPTION
A	2022 XX XX	ISSUED FOR XXXX

RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

Project

MORRISON AVE. FOURPLEX INFILL

LOT 24 DISTRICT LOT 14 OSOYOOS DIVISION YALE DISTRICT PLAN 1141

546 MORRISON AVE.

Sheet Title

ELEVATIONS

Job Number 23.1149

Date 2024 09 16

Scale As indicated

Revision Number 0

Drawing Number

2024-09-16 4:09:50 PM

A3.0

- ELEVATION MATERIAL LEGEND:**
- 1 CORRUGATED METAL SQUARE WAVE - WESTFORM COLOUR: PARCHMENT (COLOUR NOT SHOWN)
 - 2 STUCCO TYPE - FINE SAND FINISH COLOUR: CREAM WHITE
 - 3 THERMALWOOD SIDING (WEATHERED) ASH SINGLE RABBIT WITH CUTEX OIL BOARD AND BATTEN STYLE IF POSSIBLE
 - 4 BRICK - STANDARD BOND VENEER ALONG STREETFRONT COLOUR: YELLOW
 - 5 STANDING SEAM METAL ROOF BLACK
 - 6 ARCHITECTURALLY EXPOSED CONCRETE TYPE: MEDIUM DENSITY FORM FINISH COLOUR: NATURAL CONC.
 - 7 METAL CLAD VINYL WINDOWS TYPE: EUROCLAD ALUM. HYBRID, DUAL PANE, LOW E. COLOUR: DARK GREY OR BLACK
 - 8 EXTERIOR ACCENT METAL PANEL COLOUR: BLACK MANUFACTURER: CASCADIA METALS / MAC
 - 9 EXTERIOR ACCENT FLASHING/TRIM COLOUR: BLACK / PARCHMENT MANUFACTURER: WESTFORM
 - 10 ALUMINUM RAILING COLOUR: MELON YELLOW 42" GUARD HEIGHT
 - 11 STEEL GATE POWDERCOATED COLOUR: MELON YELLOW
 - 12 CONCRETE FEATURE WALL VERTICAL FLUTING
 - 13 WOOD TRELLIS
 - 14 ARCHITECTURAL WOOD FENCE



① East Elevation
 1/8" = 1'-0"



② West Elevation
 1/8" = 1'-0"

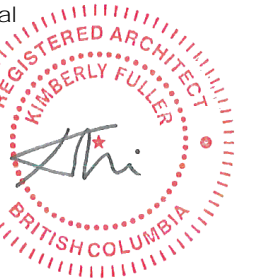
DEVELOPMENT PERMIT

THIS DRAWING MUST NOT BE SCALED.
 VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
 VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
 THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.
 ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT.

THIS DOCUMENT HAS BEEN DIGITALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ARCHITECTURAL INSTITUTE OF BC AND THE ENGINEERS AND GEOSCIENTISTS BC. THE AUTHENTIC ORIGINAL HAS BEEN TRANSMITTED TO YOU IN DIGITAL FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY THE ARCHITECT, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE, OR WHEN PRINTED FROM THE DIGITALLY-CARRIED ELECTRONIC FILE PROVIDED BY THE ARCHITECT.

Client
 CLOUGH VENTURES INC.
 9532 BENCHLAND DR. LAKE COUNTRY, BC.
 604.799.2047
 P.O. BOX CLOUGH@RECORA.CA

Consultants



2024-09-16 ISSUES

NO.	DATE	DESCRIPTION
A	2022 XX XX	ISSUED FOR XXXX

NO.	DATE	DESCRIPTION
RECORD OF REVISIONS		

Project

MORRISON AVE. FOURPLEX INFILL

LOT 24 DISTRICT LOT 14 OSOYOOS DIVISION YALE DISTRICT PLAN 1141

546 MORRISON AVE.

Sheet Title
ELEVATIONS

Job Number 23.1149

Date 2024 09 16

Scale As indicated

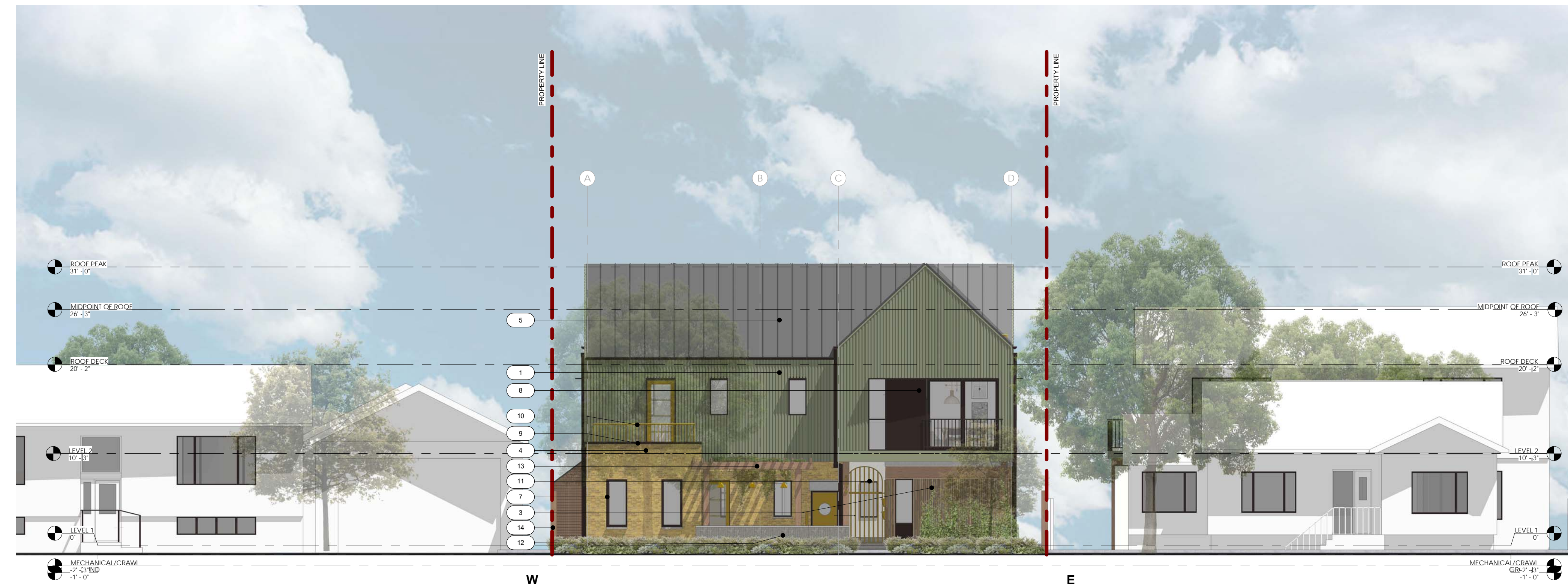
Revision Number 0

Drawing Number

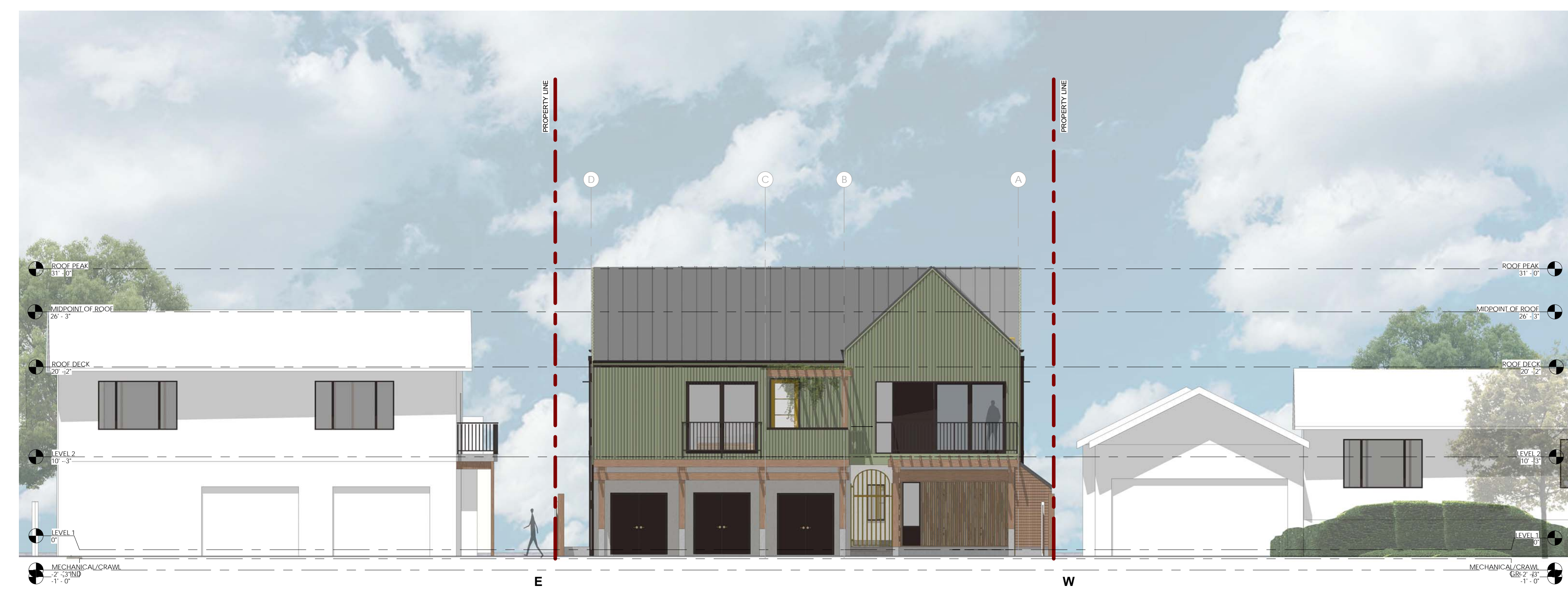
A3.1

ELEVATION MATERIAL LEGEND:

- 1 CORRUGATED METAL SQUARE WAVE - WESTFORM COLOUR: FARCHMENT (COLOUR NOT SHOWN)
- 2 STUCCO TYPE: FINE SAND FINISH COLOUR: CREAM WHITE
- 3 THERMAL WOOD SIDING (WEATHERED) ASH SINGLE RABBET WITH CUTEX OIL BOARD AND BATTEN STYLE IF POSSIBLE
- 4 BRICK - STANDARD BOND VENEER ALONG STREETFRONT COLOUR: YELLOW
- 5 STANDING SEAM METAL ROOF BLACK
- 6 ARCHITECTURALLY EXPOSED CONCRETE TYPE: MEDIUM DENSITY FORM FINISH COLOUR: NATURAL CONC.
- 7 METAL CLAD VINYL WINDOWS TYPE: EUROCLAD ALUM. HYBRID, DUAL PANE, LOW E. COLOUR: DARK GREY OR BLACK
- 8 EXTERIOR ACCENT METAL PANEL COLOUR: BLACK MANUFACTURER: CASCADIA METALS / MAC
- 9 EXTERIOR ACCENT FLASHING/TRIM COLOUR: BLACK / FARCHMENT MANUFACTURER: WESTFORM
- 10 ALUMINUM RAILING COLOUR: MELON YELLOW 42" GUARD HEIGHT
- 11 STEEL GATE POWDERCOATED COLOUR: MELON YELLOW
- 12 CONCRETE FEATURE WALL VERTICAL FLUTING
- 13 WOOD TRELLIS
- 14 ARCHITECTURAL WOOD FENCE



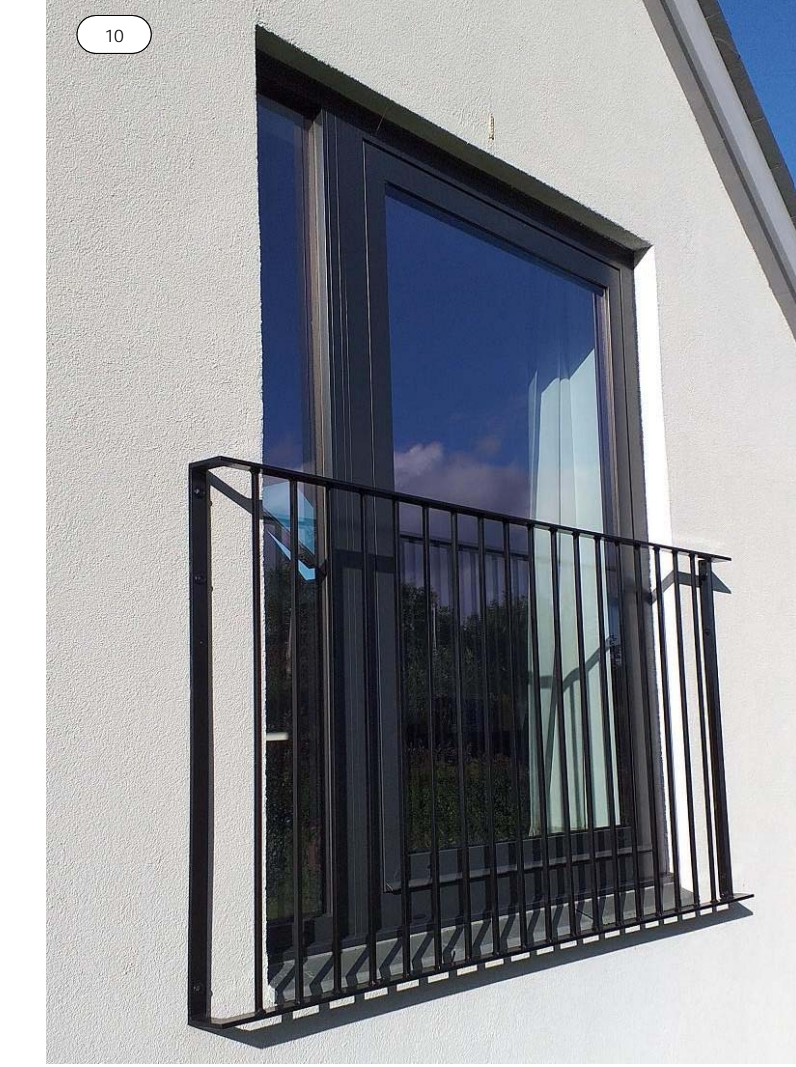
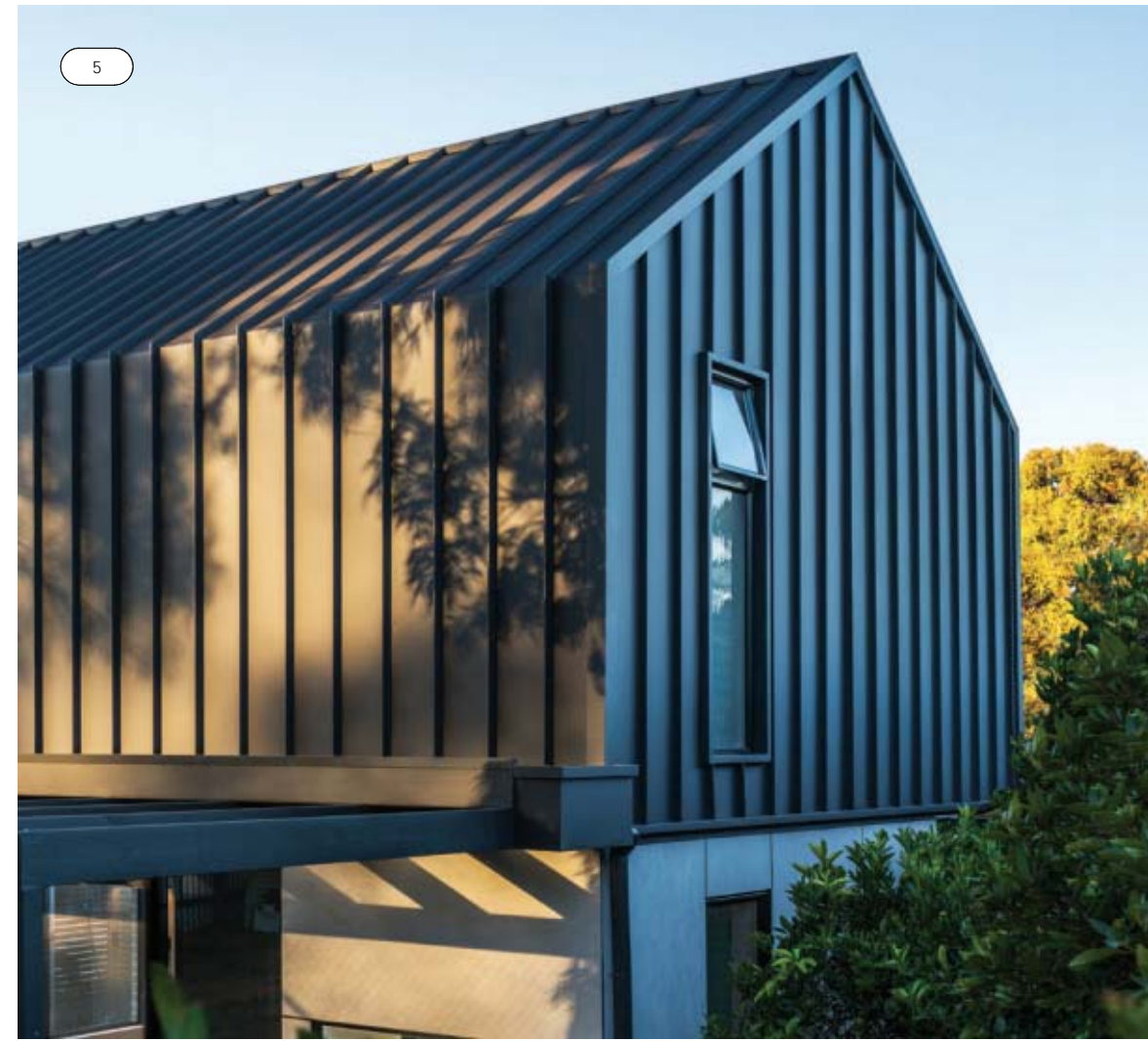
① South Elevation
 1/8" = 1'-0"



② North Elevation
 1/8" = 1'-0"

ELEVATION MATERIAL LEGEND:

- 1 CORRUGATED METAL
SQUARE WAVE - WESTFORM
COLOUR: PARCHMENT (COLOUR NOT SHOWN)
- 2 STUCCO
TYPE - FINE SAND FINISH
COLOUR: CREAM WHITE
- 3 THERMALWOOD SIDING (WEATHERED)
ASH SINGLE RABBIT WITH CUTEX OIL
BOARD AND BATTEN STYLE IF POSSIBLE
- 4 BRICK - STANDARD BOND
VENEER ALONG STREETFRONT
COLOUR: YELLOW
- 5 STANDING SEAM METAL ROOF
BLACK
- 6 ARCHITECTURALLY EXPOSED CONCRETE
TYPE: MEDIUM DENSITY FORM FINISH
COLOUR: NATURAL CONC.
- 7 METAL CLAD VINYL WINDOWS
TYPE: EUROCLAD ALUM. HYBRID, DUAL PANE, LOW E.
COLOUR: DARK GREY OR BLACK
- 8 EXTERIOR ACCENT METAL PANEL
COLOUR: BLACK
MANUFACTURER: CASCADIA METALS / MAC
- 9 EXTERIOR ACCENT FLASHING/TRIM COLOUR
COLOUR: BLACK/PARCHMENT
MANUFACTURER: WESTFORM
- 10 ALUMINUM RAILING
COLOUR: MELON YELLOW
42" GUARD HEIGHT
- 11 STEEL GATE POWDERCOATED
COLOUR: MELON YELLOW
- 12 CONCRETE FEATURE WALL
VERTICAL FLUTING
- 13 WOOD TRELLIS
- 14 ARCHITECTURAL WOOD FENCE



DEVELOPMENT PERMIT

THIS DRAWING MUST NOT BE SCALED.
 VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
 VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
 THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.
 ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT.
 THIS DOCUMENT HAS BEEN DIGITALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ARCHITECTURAL INSTITUTE OF BC AND THE ENGINEER AND GEOSCIENTISTS BC. THE AUTHENTIC ORIGINAL HAS BEEN TRANSMITTED TO YOU IN DIGITAL FORM. ANY PRINTED VERSION CAN BE REPRODUCED AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY THE ARCHITECT, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY-CARRIED ELECTRONIC FILE PROVIDED BY THE ARCHITECT.

Client
 CLOUGH VENTURES INC.
 9532 BENCHLAND DR. LAKE COUNTRY, BC.
 604.799.2047
 DOCK@CLOUGHRECORA.CA

Consultants



2024-09-16 ISSUES		
NO.	DATE	DESCRIPTION
A	2022 XX XX	ISSUED FOR XXXX

NO.	DATE	DESCRIPTION
RECORD OF REVISIONS		

Project
MORRISON AVE. FOURPLEX INFILL
 LOT 24 DISTRICT LOT 14 OSOYOOS DIVISION YALE DISTRICT PLAN 1141
 546 MORRISON AVE.

Sheet Title
MATERIAL BOARD

Job Number 23.1149
 Date 2024 09 16
 Scale As indicated
 Revision Number 0
 Drawing Number

DEVELOPMENT PERMIT

THIS DRAWING MUST NOT BE SCALED.
 VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
 VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
 THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.
 ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT.

THIS DOCUMENT HAS BEEN DIGITALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ARCHITECTURAL INSTITUTE OF BC AND THE ENGINEER AND GEOSCIENTISTS BC. THE AUTHENTIC ORIGINAL HAS BEEN TRANSMITTED TO YOU IN DIGITAL FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY THE ARCHITECT, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY-CARRIED ELECTRONIC FILE PROVIDED BY THE ARCHITECT.

Client
 CLOUGH VENTURES INC.
 9532 BENCHLAND DR. LAKE COUNTRY, BC.
 604-799-2047
 P.O. BOX 60000, V1R 6C6

Consultants



2024-09-16 ISSUES		
NO.	DATE	DESCRIPTION
A	2022 XX XX	ISSUED FOR XXXX

NO.	DATE	DESCRIPTION
RECORD OF REVISIONS		

Project
MORRISON AVE. FOURPLEX INFILL
 LOT 24 DISTRICT LOT 14 OSOYOOS DIVISION YALE DISTRICT PLAN 1141
 546 MORRISON AVE.

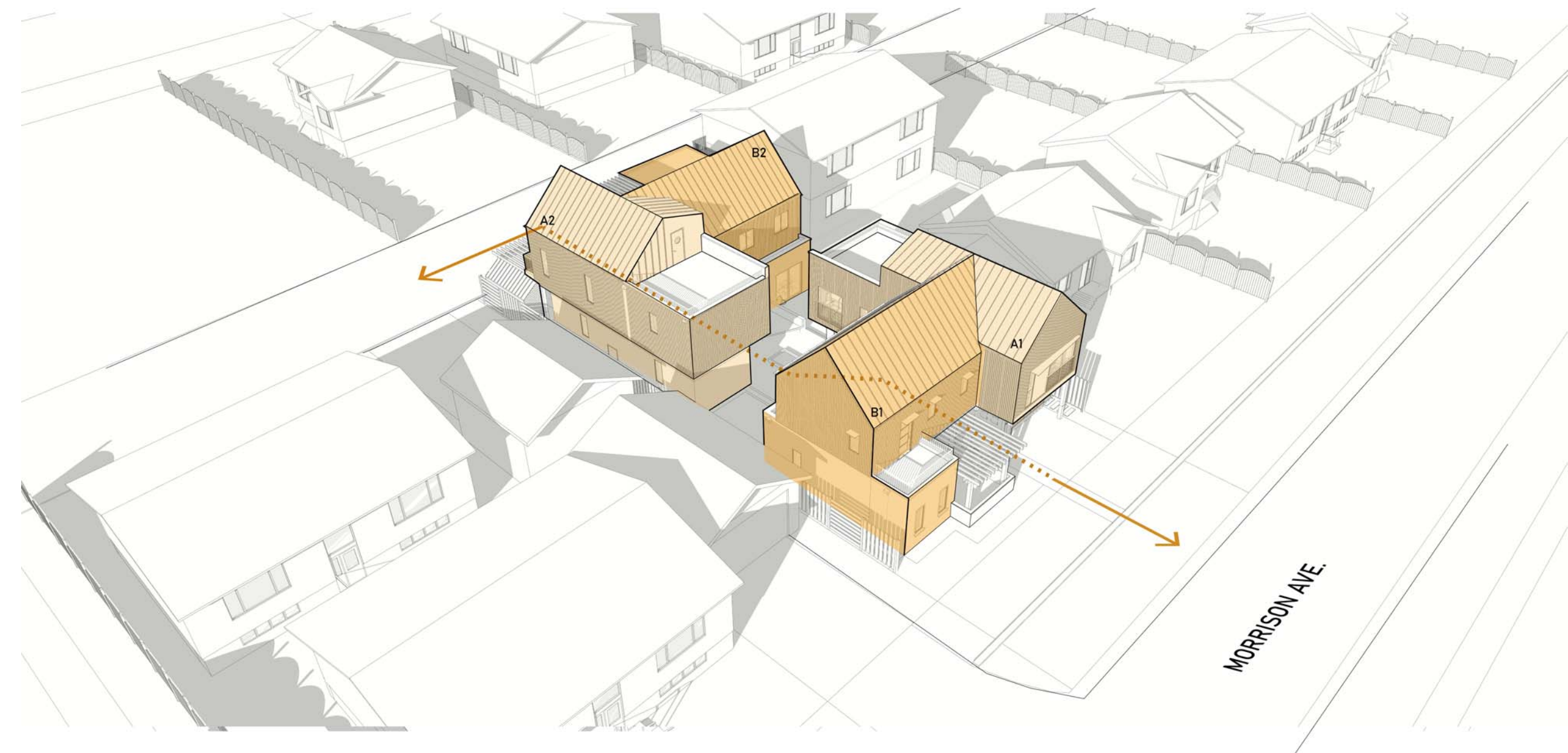
Sheet Title
RENDERS

Job Number 23.1149
 Date 2024 09 16
 Scale
 Revision Number 0
 Drawing Number

CONCEPT:

The core motive of this proposal is context. With a laneway in the rearyard and a well connected Morrison Ave. in the front, there is ample opportunity for pedestrian movement and interaction around and within the project site. The typical fourplex proposal might see the units bunched into a cluster of 3 and 1 along the front and rear lot lines, or all 4 around a centrepoin in the property. These solutions create sideyard conditions that are effectively pathway access, giving limited opportunity for landscaping screening between lots, and limited opportunity for shared space and chance encounters between neighbours.

In this design, the path cuts through the centre, limiting the shared party wall conditions (and so too increasing levels of privacy/individual ownership on a fourplex lot), and allowing for landscaping screening in the sideyards. Privacy is kept while providing ample opportunity for community to grow in patio spaces and garden areas. Movement is kept by creating a meaningful pathway from frontyard to back. Context is kept by creating a form that speaks the language of a single family home from the street.



AERIAL - UNITS AND INTERSECTING PATHWAY



AERIAL - COURTYARD



RENDER - FRONT (MORRISON AVE.)



RENDER - COURTYARD



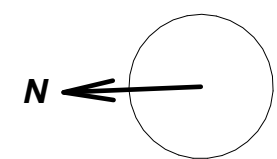
RENDER - REAR



JULY 1ST - NOON



JANUARY 1ST - NOON



DEVELOPMENT PERMIT

THIS DRAWING MUST NOT BE SCALED.
 VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.

VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.

THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.

ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT.

THIS DOCUMENT HAS BEEN DIGITALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ARCHITECTURAL INSTITUTE OF BC AND THE ENGINEER AND GEOSCIENTISTS BC. THE AUTHORITY ORIGINAL HAS BEEN TRANSMITTED TO YOU IN DIGITAL FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY THE ARCHITECT. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY-CARRIED ELECTRONIC FILE PROVIDED BY THE ARCHITECT.

Client
 CLOUGH VENTURES INC.
 9532 BENCHLAND DR. LAKE COUNTRY, BC.
 604.799.2047
 60666.CLOUGH@BCE.CA

Consultants



2024-09-16 ISSUES		
NO.	DATE	DESCRIPTION
A	2022 XX XX	ISSUED FOR XXXX

NO.	DATE	DESCRIPTION
RECORD OF REVISIONS		

Project

MORRISON AVE. FOURPLEX INFILL

LOT 24 DISTRICT LOT 14 OSOYOOS DIVISION YALE DISTRICT PLAN 1141

546 MORRISON AVE.

Sheet Title

SUN STUDY

Job Number 23.1149

Date 2024 09 16

Scale

Revision Number 0

Drawing Number



RENDER - CURRENT

2024-09-16



RENDER - PREVIOUS DP

2023-10-16

DEVELOPMENT PERMIT

THIS DRAWING MUST NOT BE SCALED.
 VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
 VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
 THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.
 ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT.
 THIS DOCUMENT HAS BEEN DIGITALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ARCHITECTURAL INSTITUTE OF BC AND THE ENGINEER AND GEOSCIENTISTS BC. THE AUTHENTIC ORIGINAL HAS BEEN TRANSMITTED TO YOU IN DIGITAL FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY THE ARCHITECT, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY-CARRIED ELECTRONIC FILE PROVIDED BY THE ARCHITECT.

Client
 CLOUGH VENTURES INC.
 9532 BENCHLAND DR. LAKE COUNTRY, BC.
 604-799-2047
 6000.G.CLOUGH@BCORCA.CA

Consultants



2024-09-16 ISSUES		
NO.	DATE	DESCRIPTION
A	2022 XX XX	ISSUED FOR XXXX

NO.	DATE	DESCRIPTION
RECORD OF REVISIONS		

Project
 MORRISON AVE.
 FOURPLEX INFILL
 LOT 24 DISTRICT LOT 14 OSOYOOS
 DIVISION YALE DISTRICT PLAN 1141
 546 MORRISON AVE.

Sheet Title
 PREVIOUS DP
 COMPARISON

Job Number 23.1149
 Date 2024 09 16
 Scale
 Revision Number 0
 Drawing Number